

**Addendum No. 2
to the
Contract Documents
Equipment Storage Buildings Project**

To All Plan holders

May 14, 2019

Gentlemen:

Project No.: 4014

The following changes, additions, and/or deletions are hereby made a part of the Contract Documents for the construction of the "Equipment Storage Buildings Project", dated April 2019, as fully and completely as if the same were fully set forth therein:

ANSWERS TO QUESTIONS POSTED DURING PRE-BID PERIOD

This front page and the following fourteen pages are an integral part of this **Addendum No.2.**

All bidders shall acknowledge receipt and acceptance of this Addendum No. 2 by signing in the space provided herein and submitting the signed Addendum with the bid. Bids submitted without this Addendum will be considered non-responsive.

Sincerely,

Marcelo Anglade, P.E.
Senior Engineer

Receipt acknowledged, and conditions agreed to this _____ day of _____ 2019.

Bidder

By



ARCHITECTURAL NEXUS, Inc
archnexus.com

SALT LAKE CITY
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.924.5000

SACRAMENTO
930 R Street
Sacramento, California 95811
T 916.443.5911

Addenda 02 with responses to Questions from Bidders:

DATE: May 14, 2019

PROJECT: JWCD Equipment Storage Building
5800 S. Bangerter Highway
Taylorsville, Utah 84129

TO: Prospective Bidders

OWNER'S PROJECT #: 4014

ARCHITECT'S PROJECT #: 17032

CONTACT INFORMATION: 801.924.5000
jcrawford@archnexus.com

DELIVERED VIA: Email

COMMENTS:

Attachments: G001 and S1.03 reference attachment

Q1: Could we get some clarification on the mounting for the overhead doors. The specs on this project (2.3- B) are calling for between jamb mounting. The drawings indicated face of wall mounting. It would be unusual to have between jamb mounting for the application. Could you clarify if it should be face of wall mounting or between jamb mounting?

Response: The details indicated on sheet A201 (D2 and C3) show a standard interior face of wall mounting with an additional steel angle frame system. This should be the jamb detail that is provided

Q2: Grading Question for Equipment Storage Building: The grading plan shows the FF to be 4710.50 which appears to be incorrect since the surrounding proposed contour is 4610. Please clarify.

Response: The Finished Floor of the Storage Building should be 4610.50'.

Q3: Is there a demolition plan that shows the extent of the asphalt demolition?

Response: There are no demolition plans provided for the project. The provided civil site plan and the floor plans provides information where the extent of the asphalt is intended to go. Field verification will be required for the exact saw cut locations of the existing roadways.

Q4: On CG400, it shows a water line running in front of the building. It connects to (2) existing lines and has a 6" fire hydrant with a gate valve. What is the depth of these lines, type of lines, and size of all the lines? On G100, the plans has a different water line location without a hydrant. Please clarify.

Response: All utilities indicated on the Civil Utility Plan will need to be field verified. For information about underground utilities, refer to the Civil plans.

Q5: *On the previous job, I believe we had a landscape plan. I cannot find any information about the type and size of the trees. Currently, the foliage on the trees measure 12' diameter which is a very expensive tree. Please clarify. Also, I do not see any other ground cover such as grass except for the drainage rock on the back of the building. It seems that for the area this project is located that there would be more detail on the landscaping.*

Response: The 12' diameter foliage on the evergreen trees are shown at full maturity. The trees are to be Black Hills Spruce trees. Sheet G001 has been updated with this information. Note: landscape irrigation will be design-build by the general contractor.

Q6: *Door Hardware types?*

Response: Brand/Type – Stanley/Best – 8K Series Heavy Duty Locks/Knobs
Order/Code #83K7D4DS3605

Q7: *Drawing page S0.1 under BASIS FOR DESIGN Item 5 calls out for a 54 psf Ground Snow load and a 46 psf roof snow load. However, the specifications 13 34 19 page 6 Design Loads item 4 calls out for a 43 psf ground snow. Which is correct?*

Response: 46 psf indicated in the structural drawings is the correct roof snow load. The ground snow load of 54 psf indicated in the structural drawings is the correct ground snow load.

Q8: *Drawing page S0.1 under BASIS FOR DESIGN Item 4 calls out for a SS of 1.299 and a S1 of 0.428. However, the specifications 13 34 19 page 6 Design Loads item 6 calls out for a SS of 1.319 and a S1 of 0.516. Which is correct?*

Response: The structural engineering requirements indicated in the basis of design by the structural engineer is correct. The structural requirements for the metal building will ultimately be dependent on the selected metal building manufacturer's engineering calculations.

Q9: *The specification Division 13 34 19 has conflicts concerning the exterior panel finish.*

Page 9 Item C, b

Page 11 Item C, 4.b

Both items call out for a PVDF finish.

However

Page 11 Item C, 4.a

Page 14 Item 2.6, A, 3 calls out 2.8 PANEL FINISH

Page 15 Item F, 2.c calls out 2.8 PANEL FINISH

Page 16 Item 2.8 PANEL FINISH all items 24 listed

Call out for a Siliconized Polyester finish. Which is correct?

Response: A PVDF finish and a 35 year warranty is required.

Q10: *The specifications have a different primer color being called out for. Most are calling out for Gray. However, the girls are called out Red Oxide. Is this correct?*

Response: The girls and all sub structure will have the same Gray Primer.

Q11: *Specifications 13 34 19 page 9, Item 18,B calls out for the Weather tightness Warranty as OPTIONAL. Is that correct?*

Response: The weather tightness warranty is required for the project.

Q11: *On Sheet A201 Detail D6, it says to added Lithocrete Sealer to the entire slab. Please provide the specification which might included color, aggregate embedment, type of Lithocrete sealer, and application. It seems that this product is for designed*

architectural concrete design. Please clarify.

Response: The interior slab will be sealed with a clear Lithocrete Sealer. No color or aggregate is required.

Q11: On CG400, it calls out for us to remove the buried power. We need additional information about this line for us to bid the moving of this line. Is the buried line a utility line? Also, this line could take a substantial amount of time to remove depending on what stage it is in with the utility. Please clarify.

Response: This will be a field verified item that will require clarification on site.

Q12: Please review the attached substitution request (metal building system) for the Equipment Storage Building for the Jordan Valley Water Conservancy District in West Jordan, Utah.

Response: The substitution request for metal steel building systems by Alliance Steel Building systems appears to meet the requirements indicated for the basis of design of the roof and wall panels. The color will need to be as indicated on the Construction Documents and will need to have a PVDF finish equal or greater than the specified system. Additional information from the basis of design Nucor Panel Systems have been included for reference as attachment S1.03.

Q13: Please see attached alternate request for the windows (Pella fiberglass.) It is an amazing window that is extremely strong with excellent energy efficiencies.

Response: The substitution request does not meet all the requirements indicated in the specifications and is not accepted as an alternate.

Josh Crawford, AIA

Phone 801.924.5000

Email jcrawford@archnexus.com

Date 05.14.19

QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

**BASIS OF DESIGN METAL BUILDING SYSTEM -
 PROVIDED FOR REFERENCE ONLY**

2) BUILDING DESCRIPTION

BUILDING INFORMATION

Building Name	Building Profile	Building Width	Building Length	Distance to Ridge	Actual Eave Ht.		Roof Slope		Structural Steel Color	
					FSW	BSW	FSW	BSW	Primary	Wall Sec.
Main	Single Slope	30'-8"	100'-8"	N/A	20'-0"	27'-8"	3:12"	N/A	RP	RP
Lower Lean to	Lean-To	17'-0"	100'-8"	N/A	16'-0"	20'-3"	3:12"	N/A	RP	RP

* Unless noted in Special Requirements all structural members not fabricated of prepainted or galvanized material or treated with a corrosion resistant coating are painted with one coat of shop primer. The coat of shop primer is intended to protect the steel for only a short period of exposure to ordinary atmospheric conditions.

SECONDARY INFORMATION

Building Name	Secondary Type	Purlin Tie-in	Roof Sec. Color	Purlin Depth	Girt Depth			
					FSW	BSW	LEW	REW
Main	Purlins	None	RP	per NBS	per NBS	per NBS	per NBS	per NBS
Lower Lean to	Purlins	None	RP	per NBS	per NBS	per NBS	per NBS	per NBS

SIDEWALL AND ENDWALL SPACING

Building Name	Sidewall Bay Spacing (From LEW)	FSW Soldier Column Spacing (From LEW)	BSW Soldier Column Spacing (From LEW)	Left Endwall (LEW) Column Spacing (From FSW)	Right Endwall (REW) Column Spacing (From FSW)
Main	1@19'-4", 3@20'-0", 1@21'-4"	N/A	N/A	1@21'-4", 1@9'-4"	1@21'-4", 1@9'-4"
Lower Lean to	1@21'-4", 3@20'-0", 1@19'-4"	N/A	N/A	1@17'-0"	1@17'-0"

**S1.03
 FOR REFERENCE ONLY**

QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

2) BUILDING DESCRIPTION (CONTINUED)

GIRT CONDITION AND SPACING

Building Name	Front Sidewall (FSW)		Back Sidewall (BSW)		Left Endwall (LEW)		Right Endwall (REW)	
	Girt Condition	Girt Spacings	Girt Condition	Girt Spacings	Girt Condition	Girt Spacings	Girt Condition	Girt Spacings
Main	Bypass	NBS Std.	Bypass	NBS Std.	Bypass	NBS Std.	Bypass	NBS Std.
Lower Lean to	Bypass	NBS Std.	Bypass	NBS Std.	Bypass	NBS Std.	Bypass	NBS Std.

BUILDING ATTACHMENT INFORMATION

Lower Lean to: The **Back Sidewall (BSW)** of the building **Lower Lean to** attaches to the **Back Sidewall (BSW)** of the building **Main** at **0'-0"** from the Left Steel Line of the Wall Being Attached to.

3) PROJECT LOAD REQUIREMENTS

Building Code: IBC 2015

Design to be in accordance with Common Industry Practices as described by the current MBMA Metal Building Systems Manual. Information on this order overrides that on plans or specifications.

UL90 Rated: No

Architectural Plans & Specifications / For Specific Reference Only

- None Enclosed

Occupancy Classification: IV - Essential Facilities

Live Load: 20 psf Reducible per Code

Ground Snow Load: 43 psf

Snow Exposure Coefficient (Ce): 1.1 - Sheltered

Wind Speed: 130 mph

Wind Exposure: C

Seismic Information: Ss: 1.319

S1: 0.516

Site Class: D

4) BUILDING LOAD REQUIREMENTS

LOAD REQUIREMENTS

Building Name	Roof Dead Load	Roof Snow Load	Wind Enclosure	Thermal Coeff. (Ct)	Primary Collateral	Secondary Collateral	Collateral Load Due To	Roof Insulation R<30 and/or Roof Obstruction Exists
Main	Per NBS Std.	39.7 psf	Enclosed	Heated Structure (1.0)	5.0 psf	5.0 psf	Mech/Elec/Sprinkler	Yes
Lower Lean to	Per NBS Std.	39.7 psf	Enclosed	Heated Structure (1.0)	5.0 psf	5.0 psf	Mech/Elec/Sprinkler	Yes

DEFLECTION REQUIREMENTS (Serviceability Criteria)

Building Name	Purlin / Joist Deflection		Main Frame Deflection		Girt Deflection		Main Frame Sidesway	
	General	Ceiling	General	Ceiling	Steel Panel	Reinf. Masonry	Steel Panel	Reinf. Masonry
Main	L/150 Std.	N/A	L/180 Std.	N/A	L/90 Std.	N/A	H/60 Std.	N/A
Lower Lean to	L/150 Std.	N/A	L/180 Std.	N/A	L/90 Std.	N/A	H/60 Std.	N/A

"Other" Deflection Requirements: (See Special Requirements)

ADDITIONAL BUILDING COMPONENTS

Building Name	Additional Existing Building or Natural Obstruction Not Defined in Box 25?	Does Additional Obstruction cause Snow Drift?	Other Loads
Main	No Additional Obstruction	N/A	N/A

The Project Architect or the Engineer of Record is responsible for specifying Design Loads in accordance with the governing Building Code, local requirements (if any), and special end use requirements. The Manufacturer's Engineer does NOT serve as the Engineer of Record. (See the current MBMA Metal Building Systems Manual). Loads specified will be applied in general accordance with the engineering formulas of the specified code. Code requirements for fire, egress, ADA compliance, and other considerations are the responsibility of the buyer.

S1.03
FOR REFERENCE ONLY

QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

4) BUILDING LOAD REQUIREMENTS (CONTINUED)

ADDITIONAL BUILDING COMPONENTS

Building Name	Additional Existing Building or Natural Obstruction Not Defined in Box 25?	Does Additional Obstruction cause Snow Drift?	Other Loads
Lower Lean to	No Additional Obstruction	N/A	N/A

The Project Architect or the Engineer of Record is responsible for specifying Design Loads in accordance with the governing Building Code, local requirements (if any), and special end use requirements. The Manufacturer's Engineer does NOT serve as the Engineer of Record. (See the current MBMA Metal Building Systems Manual). Loads specified will be applied in general accordance with the engineering formulas of the specified code. Code requirements for fire, egress, ADA compliance, and other considerations are the responsibility of the buyer.

5) FRAME INFORMATION

BUILDING NAME: Main

Cold Formed Materials Not Allowed

Frame Line	Frame Type	Future Expansion	Interior Module Spacing(From FSW)	Int. Column Type	Straight Cols		Column Base Elevation		
					FSW	BSW	FSW	BSW	Int.
1 (LEW)	Rigid Frame Clear Span (Non-Exp) - RCS	N/A	1@30'-8"	N/A	No	No	0'-0"	0'-0"	N/A
2 - 5	Rigid Frame Clear Span - RCS	N/A	1@30'-8"	N/A	No	No	0'-0"	0'-0"	N/A
6 (REW)	Rigid Frame Clear Span (Non-Exp) - RCS	N/A	1@30'-8"	N/A	No	No	0'-0"	0'-0"	N/A

Base Plate Elevations: Negative values are below finish floor (B.F.F.) and positive values are above finish floor (A.F.F.).

BUILDING NAME: Lower Lean to

Cold Formed Materials Allowed on Frame Line(s): 1,6

Frame Line	Frame Type	Future Expansion	Interior Module Spacing(From FSW)	Int. Column Type	Straight Cols		Column Base Elevation		
					FSW	BSW	FSW	BSW	Int.
1 (LEW)	Lean-To Clear Span (Non-Exp) - LCS	N/A	1@17'-0"	N/A	Yes	Yes	0'-0"	0'-0"	N/A
2 - 5	Lean-To Clear Span - LCS	N/A	1@17'-0"	N/A	Yes	Yes	0'-0"	0'-0"	N/A
6 (REW)	Lean-To Clear Span (Non-Exp) - LCS	N/A	1@17'-0"	N/A	Yes	Yes	0'-0"	0'-0"	N/A

Base Plate Elevations: Negative values are below finish floor (B.F.F.) and positive values are above finish floor (A.F.F.).

6) ROOF PANEL

Building Name	Roof Panel Type	Ext. Gauge	Ext. Color	Clip Type	Roof Insulation* (Not by NBS)	Hand Crimper Qty	Endlap Clamp Qty	Mod.C lamp Qty	Insulation Pan	Staggered Endlaps	Weather Tightness Warranty
Main	Nucor CFR	24 ga.	TBS	Tall Determined by NBS	6" Standard Fiberglass - Tall Panel Clips w/ Thermal Block	1	0	0	No	Yes	None
Lower Lean to	Nucor CFR	24 ga.	TBS	Tall Determined by NBS	6" Standard Fiberglass - Tall Panel Clips w/ Thermal Block	0	0	0	No	Yes	None

*Roof Insulation is not provided by Nucor. Insulation prevents condensation, noise and damage due to wind. Due consideration must be given by the designer to these issues.

Roof warranty options apply only to standard NBS Finishes. Refer to the Nucor Building Systems Warranty Instruction Guide.

Nucor recommends tall clips for insulation thickness greater than 4"

S1.03
FOR REFERENCE ONLY

QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

6) ROOF PANEL (CONTINUED)

NBS STANDARD COLOR CODES

Miscellaneous Finishes GM Finish (25 yr Std. Warranty)	Silicon Polyester (SP) Finish (25 yr Standard Warranty)	PVDF Finish (35 yr Standard Warranty) Standard Upcharge Applies
		Cypress Green (PVDF): CY Surrey Beige (PVDF): SU Dark Bronze (PVDF): DB To Be Selected (PVDF) TBK Medium Gray (PVDF): MG Terra Cotta (PVDF): TC Royal Blue (PVDF): RO Warm White (PVDF): WW Regal White (PVDF): RW

7) ROOF LINE TRIM

FRONT SIDEWALL (FSW) TRIM INFORMATION

Building Name	Trim Texture	Front Sidewall (FSW) Eave Trim	FSW Eave Trim Color	Downspout Condition	Downspout Color	Gutter to Downspout Transition	Delete Elbow at Base?
Main	Smooth (Standard)	Sculptured Eave	TBS	N/A	N/A	N/A	N/A
Lower Lean to	Smooth (Standard)	Sculptured Eave	TBS	N/A	N/A	N/A	N/A

BACK SIDEWALL (BSW) TRIM INFORMATION

Building Name	Trim Texture	Back Sidewall (BSW) Eave Trim	BSW Eave Trim Color	Downspout Condition	Downspout Color	Gutter to Downspout Transition	Delete Elbow at Base?
Main	Smooth (Standard)	Sculptured Eave	TBS	N/A	N/A	N/A	N/A
Lower Lean to	Smooth (Standard)	Parapet Flash (Highside)	TBS	N/A	N/A	N/A	N/A

ENDWALL TRIM INFORMATION

Building Name	LEW Trim Texture	Left Endwall (LEW) Rake Trim	LEW Rake Trim Color	REW Trim Texture	Right Endwall (REW) Rake Trim	REW Rake Trim Color
Main	Smooth (Standard)	Sculptured Rake	TBS	Smooth (Standard)	Sculptured Rake	TBS
Lower Lean to	Smooth (Standard)	Sculptured Rake	TBS	Smooth (Standard)	Sculptured Rake	TBS

8) ROOF ACCESSORIES - NONE REQUIRED

QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

9) WALL PANEL

Building Name	Wall ID	Wall Panel Type	Exterior Gauge	Exterior Color	Wall Insulation* (Not by NBS)	Wall Corner Trim Color	Finish Warranty
Main	All	Nucor Reverse Classic	26 ga.	TBS	6" Standard Laminated Fiberglass	TBS	25 Year (SP)
Lower Lean to	LEW, FSW, REW	Nucor Reverse Classic	26 ga.	TBS	6" Standard Laminated Fiberglass	TBS	25 Year (SP)
Lower Lean to	BSW	None Required**	N/A	N/A	N/A	N/A	N/A

*Wall Insulation is not provided by Nucor. Insulation prevents condensation, noise and damage due to wind. Due consideration must be given by the designer to these issues.

** Sheeting has been removed due to Full Deletion

Wall warranty options apply only to standard NBS Finishes. Refer to the Nucor Building Systems Warranty Instruction Guide.

Please schedule fabrication and delivery of steel to coincide closely with your erection schedule. This will minimize the possibility of damage due to exposure to the elements. Panels must be kept free of moisture and debris at all times. See instruction on panel bundles, NBS Wall Sheeting Erection Guide and the construction details. Improper storage or handling will diminish the life of the product and VOIDS all warranties.

BASE TRIM CONDITIONS

Building Name	Wall ID	Base Trim Type	Base Trim Color	Vertical Dimension "X"	Horizontal Dimension "Y"
Main	All	Base Angle w/ Trim	TBS	N/A	N/A
Lower Lean to	LEW, FSW, REW	Base Angle w/ Trim	TBS	N/A	N/A
Lower Lean to	BSW	N/A*	N/A	N/A	N/A

Note: Masonry fasteners are not supplied by NBS.

* Base Trim has been removed due to Open Full Deletion

10) FRAMED OPENINGS

WALL FRAMED OPENINGS

Building Name	Wall ID	Width	Height	Qty	Factory or Field Located	Loc. Left Steel Line	Framed Opening Type	Sill Height	Cover Trim?	F.O. Trim Color	Wind Load Conf.?	Allow X-Brc?
Main	LEW	14'-0"	10'-0"	1	Factory	12'-4"	Roll Up	0'-0"	Yes	TBS	Yes	No
Main	LEW	14'-0"	16'-0"	1	Factory	12'-4"	Roll Up	0'-0"	Yes	TBS	Yes	No
Main	REW	14'-0"	10'-0"	1	Factory	4'-4"	Roll Up	0'-0"	Yes	TBS	Yes	No
Main	REW	14'-0"	16'-0"	1	Factory	4'-4"	Roll Up	0'-0"	Yes	TBS	Yes	No
Main	BSW	16'-0"	4'-0"	1	Factory	3'-4"	Window/Louver	21'-6"	Yes	TBS	Yes	No
Main	BSW	16'-0"	4'-0"	1	Factory	23'-4"	Window/Louver	21'-6"	Yes	TBS	Yes	No
Main	BSW	16'-0"	4'-0"	1	Factory	43'-4"	Window/Louver	21'-6"	Yes	TBS	Yes	No
Main	BSW	16'-0"	4'-0"	1	Factory	63'-4"	Window/Louver	21'-6"	Yes	TBS	Yes	No
Main	BSW	16'-0"	4'-0"	1	Factory	82'-4"	Window/Louver	21'-6"	Yes	TBS	Yes	No
Lower Lean to	FSW	14'-0"	10'-0"	1	Factory	83'-4"	Roll Up	0'-0"	Yes	TBS	Yes	No

Sill Height is measured from the finish floor elevation. Cover trim (if selected) will match the F.O. Trim color unless specified otherwise in the notes section (box 27) of contract.

All framed openings with a wind load confirmation of "Yes" assume the use of accessories designed to be fully wind-resistive based on the loading specified in the Load Requirement section. All framed openings with a wind load confirmation of "No" will be considered in the building design as though they were permanently open to the outside.

S1.03
FOR REFERENCE ONLY

QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

10) FRAMED OPENINGS (CONTINUED)

PARTITION WALL FRAMED OPENINGS - None Required

11) WALL DELETIONS

ID	Building Name	Wall ID	Loc. LSL	Width	Top Elevation	Open / Materials?	Allow X-Bracing?	Remove Panels	Wind Load Conf.
					Bottom Elevation	Support Type*	Col. Flg. Bracing	Remove Girts	
1	Main	BSW	Full Width	Full Width	20'-3"	Open To Bldg.	Yes	Yes	Yes
					0'-0"	N/A	No	Yes	
2	Lower Lean to	BSW	Full Wall	Full Wall	Full Wall	Open To Bldg.	Yes	Yes	Yes
					Full Wall	N/A	No	Yes	

*Spandrel(s) by NBS: NBS to provide spandrel for lateral support of wall as requested.

Support at Columns Only: No spandrel provided by NBS, material by others attached to NBS Columns.

Independent: No structural attachment to NBS structure.

12) BRACING OPTIONS

Building Name	Wall ID	Bracing Type	Clear Height Requested	User Specified Bay #'s	Bracing in Bay #'s
Main	LEW, REW	None	N/A	No	N/A
Main	FSW, BSW	Wall X-Bracing	N/A	Yes	2, 4
Lower Lean to	LEW, REW, BSW	None	N/A	No	N/A
Lower Lean to	FSW	Wall X-Bracing	N/A	Yes	2, 4

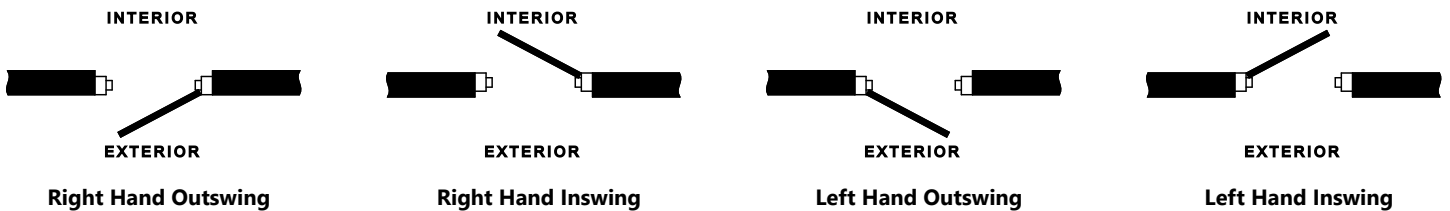
Sketch must show locations for bracing on the sidewall bays and endwall bays.

13) WALL & CEILING LINER - NONE REQUIRED

14) PARTITION WALLS / DRAFT CURTAINS - NONE REQUIRED

15) WALKDOORS

Building Name	ID#	Qty	Size	Type	Swing	Leaf Insulation	Color	Glass	Lockset	Closer
Main	101	2	3070	Pre-Assembled Standard	Left Hand Outswing	3070 Standard Door Leaf PA	White	None	Standard Rim Panic Lever And Trim PA	Heavy Duty Grade 1 Closer PA
Main	102	2	3070	Pre-Assembled Standard	Right Hand Outswing	3070 Standard Door Leaf PA	White	None	Standard Rim Panic Lever And Trim PA	Heavy Duty Grade 1 Closer PA



QUOTE AND ORDER DOCUMENT

NUCOR BUILDING SYSTEMS

Nucor Building Systems - UT, LLC
 P.O. Box 907, 1050 North Watery Lane - Brigham City, UT 84302
 - Phone: (435) 919-3100 - Fax: (435) 919-3101

NBS PROJECT #

NBS QUOTE # U17-17069

CUST QUOTE #: U17-17069

LABEL: 0 - Base

CONTROL #: P201704191654

S1.03

DATE: 4/19/2017

15) WALKDOORS (CONTINUED)

WALKDOORS (ADDITIONAL PROPERTIES)

Building Name	ID	Hinges	Latch Guard	Keyed Alike	Jamb Extensions	Crash Chain	Mullion	Activation
Main	101	Ball Bearing NRP Hinges PA	Latch Guard PA	Walkdoors Keyed Alike PA	No	30" Dull Chrome Crash Chain PA	N/A	N/A
Main	102	Ball Bearing NRP Hinges PA	Latch Guard PA	Walkdoors Keyed Alike PA	No	30" Dull Chrome Crash Chain PA	N/A	N/A

16) WINDOWS - NONE REQUIRED

17) WALL LITES - NONE REQUIRED

18) CANOPY - NONE REQUIRED

19) FASCIA - NONE REQUIRED

20) RAKE / EAVE EXTENSIONS

Building Name	Wall I.D.	Type	Projection Dimension	Lineal Feet	Loc. Left Steel Line	Soffit Panel
Main	BSW	Eave	2'-0"	Full Wall Length	0'-0"	Nucor Reverse Classic, 26 ga., TBS

21) PARAPET WALLS - NONE REQUIRED

22) MEZZANINES - NONE REQUIRED

23) CRANES - NONE REQUIRED

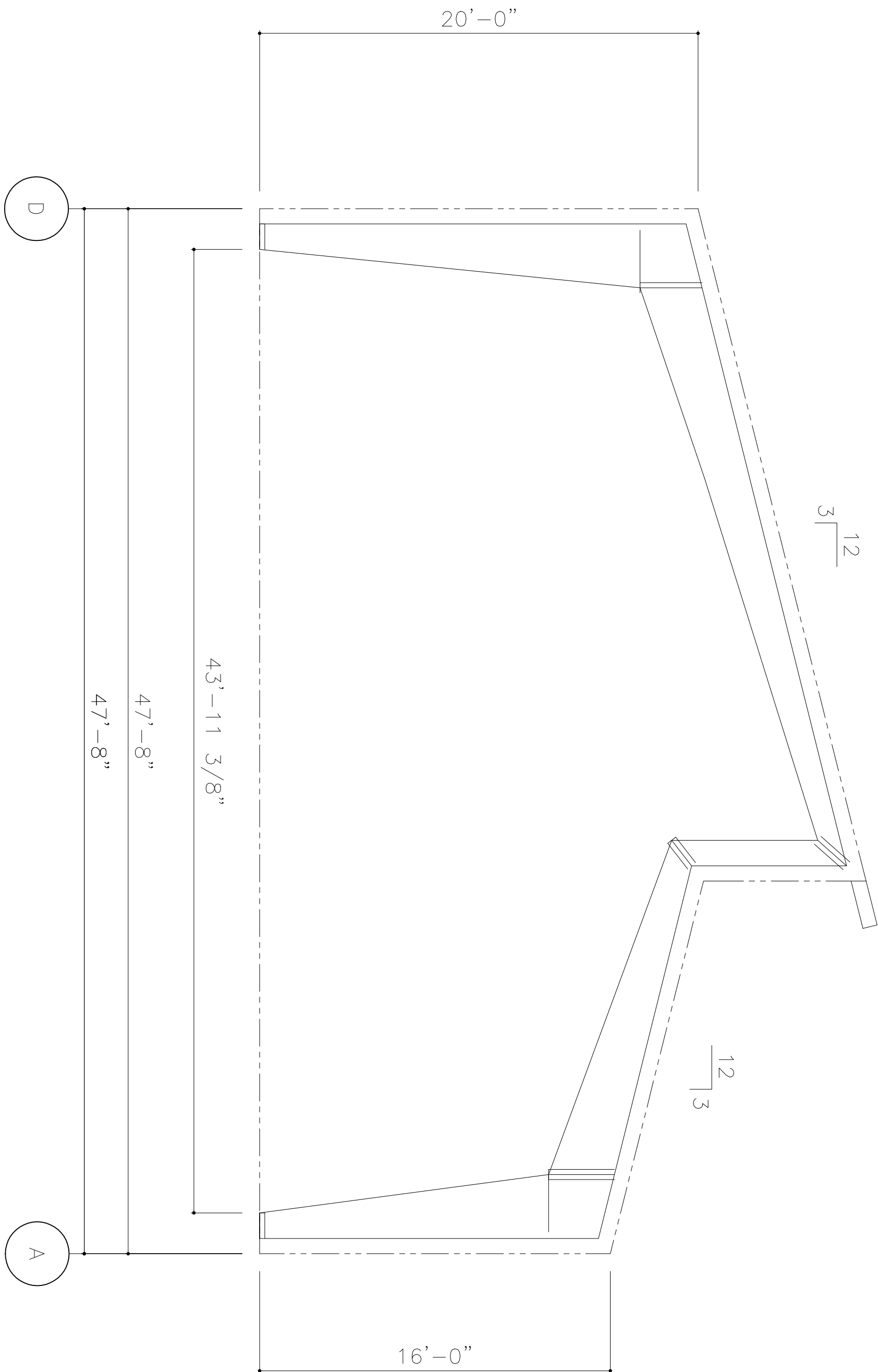
24) JIB CRANES - NONE REQUIRED

25) EXISTING BUILDING - NONE REQUIRED

26) FUTURE BUILDING - NONE REQUIRED

27) SPECIAL USER NOTES

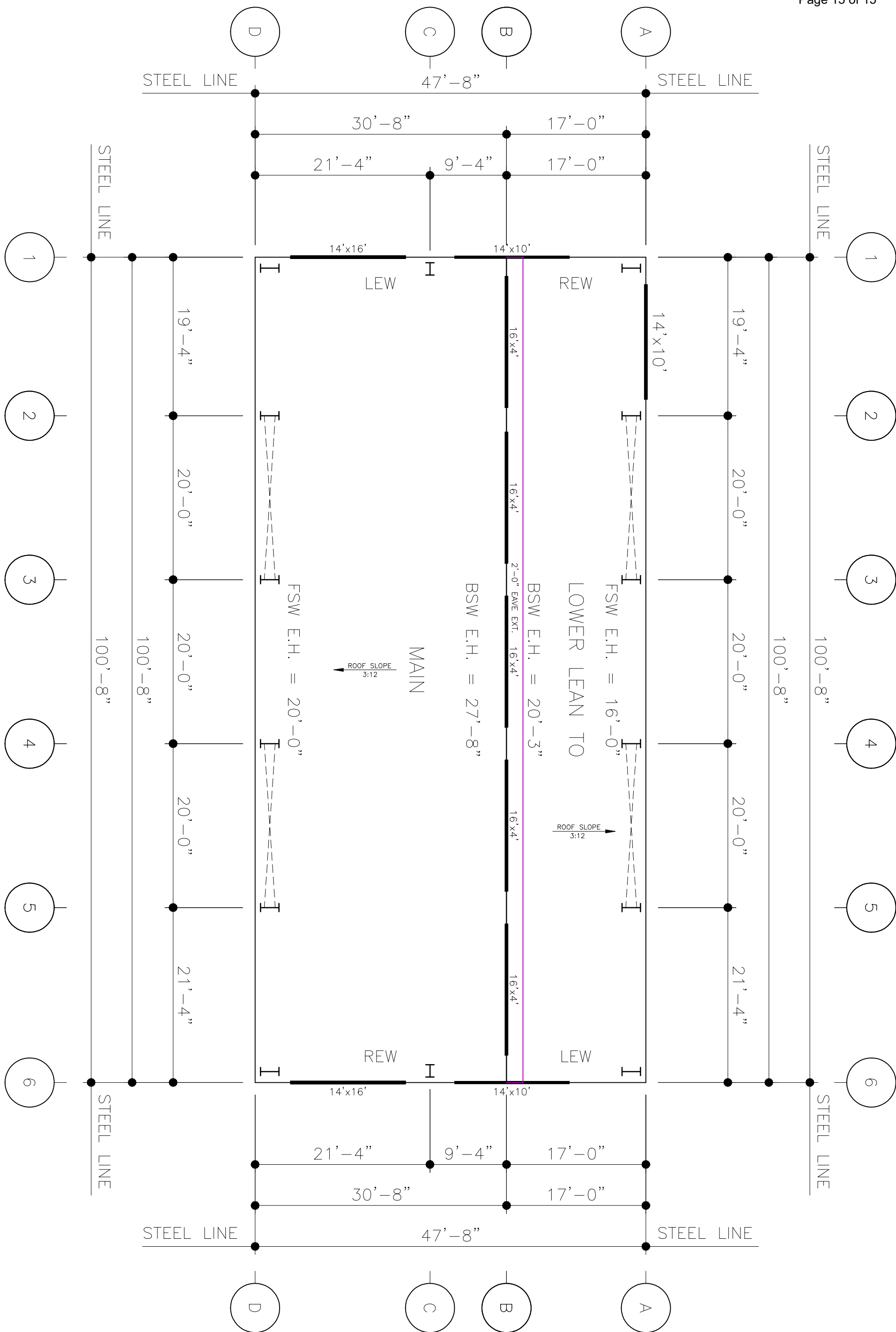
1. Provide option for 26ga TBS classic roof for both bldg. (NBS) See alternate 1 below.
2. This is to be a one piece frame. (NBS) A clearstory frame is provided combining the Main Building frame and the Lean-To frame into one continuous frame, see attached frame cross section for reference. Building is entered as two buildings for reference only due to eQuote limitations.
3. The 14'x10 framed openings on the endwalls will be 24'-4" from the front sidewall of the Main Building. (NBS) These openings will be provided between grid lines A & C as shown on the attached floor plan.



FRAME @ LINE(S) 1,2,3,4,5,6

*ALL CLEAR DIMENSIONS ARE SUBJECT TO CHANGE AT TIME OF FINAL DESIGN, UNLESS NOTED OTHERWISE IN THE SPECIAL USER NOTES SECTION.

DO NOT USE FOR FINAL CONSTRUCTION		PROJECT NAME: TRAILER STORAGE BLDG "C"	   	S1.03 FOR REFERENCE ONLY
SHEET TITLE: 4/19/2017 4:09 PM PRELIMINARY FRAME CROSS SECTIONS		CUSTOMER NAME: ARCH/NEXUS		
SHEET NUMBER: FX	QUOTE NUMBER: U17-17069			



DO NOT USE FOR FINAL CONSTRUCTION

SHEET TITLE: 4/19/2017 4:32 PM
 PRELIMINARY FLOOR PLAN

SHEET NUMBER: FP1
 QUOTE NUMBER: U17-17069

PROJECT NAME:
 TRAILER STORAGE BLDG "C"

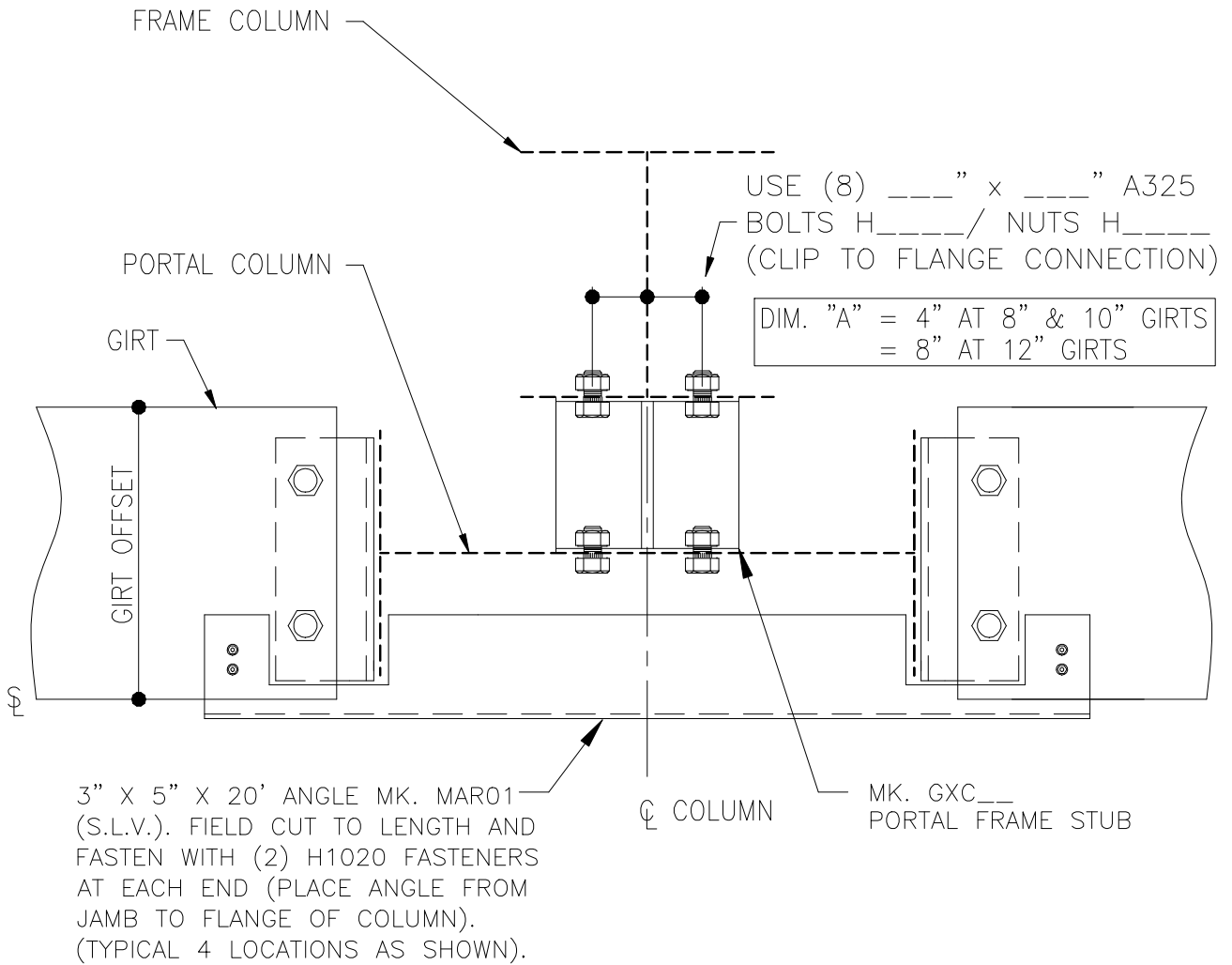
CUSTOMER NAME:
 ARCH/NEXUS



Drawing Generated By
 eQuote

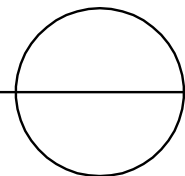


S1.03
 FOR
 REFERENCE
 ONLY



SW PORTAL FRAME DETAIL

GIRTS AT PORTAL FRAME COLUMN

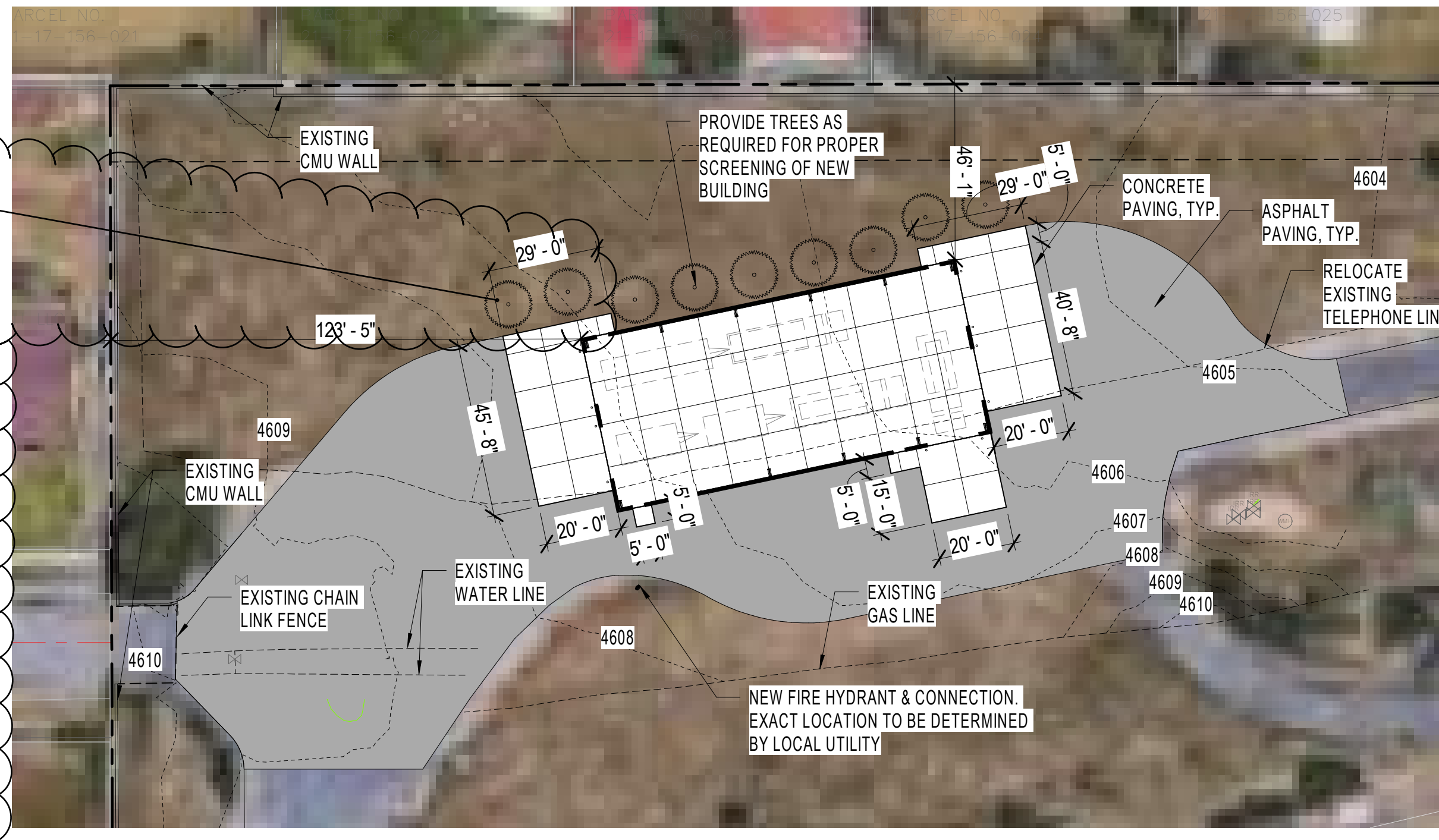
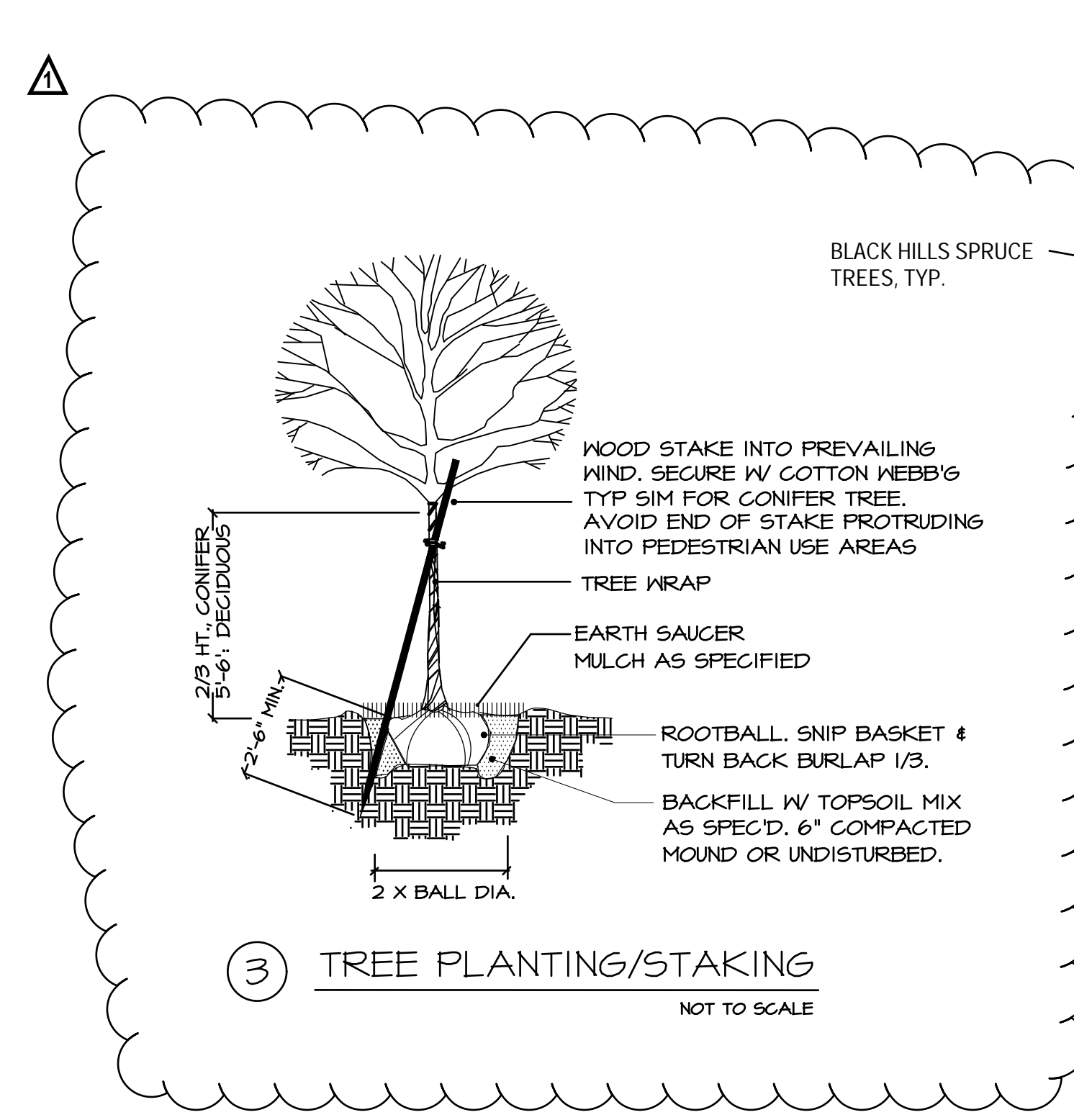


A DIVISION OF NUCOR CORPORATION

1050 N. WATERY LANE
BRIGHAM CITY, UT 84302

PH: (435) 919-3100
FAX: (435) 919-3075

**S1.03
FOR REFERENCE
ONLY**



SITE PLAN - ENLARGED
1" = 30'-0"

A. COORDINATE BUILDING FINISHED FLOOR ELEVATION AND CONNECTING ASPHALT DRIVE ELEVATIONS WITH CIVIL ENGINEER'S PLAN.



SITE PLAN
1" = 100'-0"

JORDAN VALLEY WATER CONSERVANCY DISTRICT



Equipment Storage Bldg. - Terminal Reservoir

5800 S. Bangerter Highway
Taylorsville, UT 84129

Nexus Project #17032.1

Owner Project #: 4014

BID SET

DESIGN CRITERIA

APPLICABLE CODES	
ACCESSIBILITY CODE	ICC/ANSI A117.1-2009
INTERNATIONAL BUILDING CODE	2015 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE	2015 EDITION
INTERNATIONAL FIRE CODE	2015 EDITION
INTERNATIONAL MECHANICAL CODE	2015 EDITION
INTERNATIONAL PLUMBING CODE	2015 EDITION
NATIONAL ELECTRICAL CODE	2014 EDITION
ZONING ORDINANCE:	Taylorsville City Zoning Ordinance

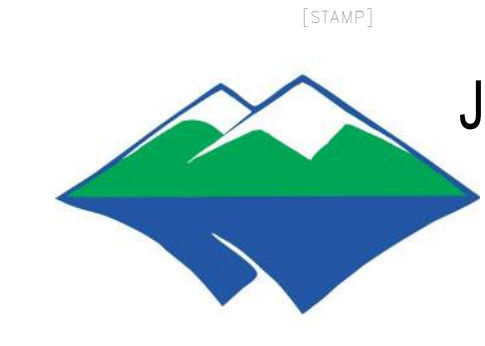
CODE REVIEW	
OCCUPANCY:	U
TYPE:	II-B
RATING:	NON-SPRINKLERED
ALLOWABLE AREA:	8,500 S.F. ACTUAL AREA: 4,698 S.F.
ALLOWABLE HEIGHT:	2-STORY, 55' ACTUAL HEIGHT: 1-STORY, 28'-2"

SHEET INDEX

GENERAL:	
G001	COVER SHEET
G100	SITE UTILITY CONNECTIONS REFERENCE
CIVIL:	
CG-400	GRADING PLAN
ARCHITECTURAL:	
A101	BUILDING PLANS
A102	BUILDING ELEVATION & SECTION
A201	ARCHITECTURAL DETAILS
A501	TYPICAL DETAILS
STRUCTURAL:	
S0.1	STRUCTURAL GENERAL NOTES AND LEGENDS
S1.1	FOUNDATION PLAN AND DETAILS
MECHANICAL:	
ME001	MECHANICAL COVER SHEET
ME601	MECHANICAL SCHEDULES & DETAILS
MH101	MECHANICAL AND PLUMBING PLAN

SHEET INDEX

ELECTRICAL:	
EE001	SHEET INDEX, ABBREVIATIONS, AND GENERAL NOTES
EE201	ELECTRICAL SPECIFICATIONS
EE202	ELECTRICAL SPECIFICATIONS
EE501	ELECTRICAL DETAILS
EE701	TYPICAL MOUNTING HEIGHT DETAILS
ES101	ELECTRICAL SITE PLAN
ES501	SITE ELECTRICAL DETAILS
EP101	LEVEL 01 ELECTRICAL PLAN
EP601	ONE-LINE DIAGRAM
EL601	LIGHTING FIXTURE AND CONTROL SCHEDULES



JORDAN VALLEY WATER CONSERVANCY DISTRICT

OWNER

CONTACT: Marcelo Anglade
PHONE: 801.565.4300

E-MAIL: MarceloA@jwcd.org
INTERNET: jwcd.org



ARCHITECT
Architectural NEXUS, Inc.
2505 East Parleys Way
Salt Lake City, UT 84109

CONTACT: Joshua Crawford
PHONE: 801.924.5000

E-MAIL: jrcrawford@archnexus.com
INTERNET: archnexus.com



STRUCTURAL ENGINEER
WRIGHT ENGINEERS
9160 South 300 West, Suite 2
Sandy, UT 84070

CONTACT: David Winn
PHONE: 801.352.2001

E-MAIL: dwinn@wrightengineers.com
INTERNET: wrightengineers.com



MECHANICAL ENGINEER
SPECTRUM ENGINEERS
324 South State Street, Suite 400
Salt Lake City, UT 84111

CONTACT: Ryan Boogard
PHONE: 801.328.5151

E-MAIL: rhb@spectrum-engineers.com
INTERNET: spectrum-engineers.com



ELECTRICAL ENGINEER
SPECTRUM ENGINEERS
324 South State Street, Suite 400
Salt Lake City, UT 84111

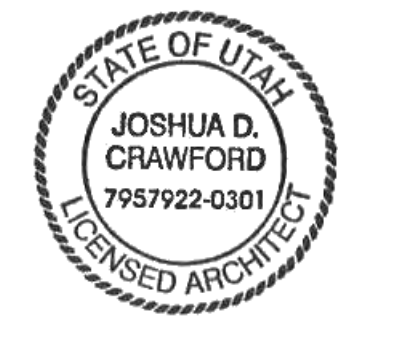
CONTACT: Peter Johansen
PHONE: 801.328.5151

E-MAIL: pej@spectrum-engineers.com
INTERNET: spectrum-engineers.com



ARCHITECTURAL NEXUS, Inc.
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.924.5000
http://www.archnexus.com

Original drawings remain the property of the Architect and as such the Architect retains total ownership and control. The design represented by these drawings is sold to the client for a one time use, unless otherwise agreed upon in writing by the Architect. © Architectural Nexus, Inc. 2014



JORDAN VALLEY WATER CONSERVANCY DISTRICT
Equipment Storage Bldg. - Terminal Reservoir
5800 S. Bangerter Highway
Taylorsville, UT 84129

#	Date	Revision
Δ	5-14-19	Addenda 1

NEXUS PROJ. #: 17032.1
CHECKED BY: JC
DRAWN BY: MS
DATE: DECEMBER 20, 2018

COVER SHEET

G001